



PROJECT DESIGN TEAM:
THE TAMARA PEACOCK CO. ARCHITECTS
129 3RD AVE W
HENDERSONVILLE, NC 28792
PHONE: 828.696.4000
LICENSE #12289



OWNER:

PROJECT NAME:
FIRST AVE VILLAS
**320 1ST AVE W
HENDERSONVILLE,
NC 28792**

TAMARA PEACOCK, R.A.
REGISTRATION NO. 12289

ISSUED FOR:

DATE:

SHEET NAME:
COVER SHEET

REVISIONS:

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DATE: 11/19/2024 4:17:09 PM
PROJ. NO.:
CHECKER:
DRAWN BY: AUTHOR
DESIGNER:
REVISOR BY: CHECKER
CAPT.:
APPROVER:

SHEET NO.:
A001

ARY Development LLC

FIRST AVE VILLAS

Hendersonville, NC

OWNER

ARY DEVELOPMENT LLC
17 OLDE EASTWOOD VILLAGE BLVD
ASHEVILLE NC, 28803
832.265.0493
RRCHARANIA@ARYDEVELOPMENTS.COM
RAFIQUE CHARANIA

DEVELOPER

ARY DEVELOPMENT LLC
17 OLDE EASTWOOD VILLAGE BLVD
ASHEVILLE NC, 28803
832.265.0493
RRCHARANIA@ARYDEVELOPMENTS.COM
RAFIQUE CHARANIA

CONTRACTOR

BUCHANAN CONSTRUCTION
1642 HENDERSONVILLE RD
ASHEVILLE NC, 28803
828.650.6565 EXT. 104
MATT@BUCHANANCONSTRUCTION.COM
MATT KEENE
VP COMMERCIAL CONSTRUCTION

ARCHITECT

PEACOCK ARCHITECTS
129 3RD AVE W
HENDERSONVILLE, NC 28792
828.696.4000
SARAH@PEACOCKARCHITECT.COM
SARAH McCORMICK
ARCHITECTURAL DESIGNER
TAMARA@PEACOCKARCHITECT.COM
TAMARA PEACOCK
PRINCIPAL

CIVIL ENGINEER

FEI ENGINEERING
7 GLENN BRIDGE RD, STE H
ARDEN, NC 28704
828.696.0807
TYLER WAGNER
TWAGNER@FEICONCONSULTING.COM
PROJECT MANAGER

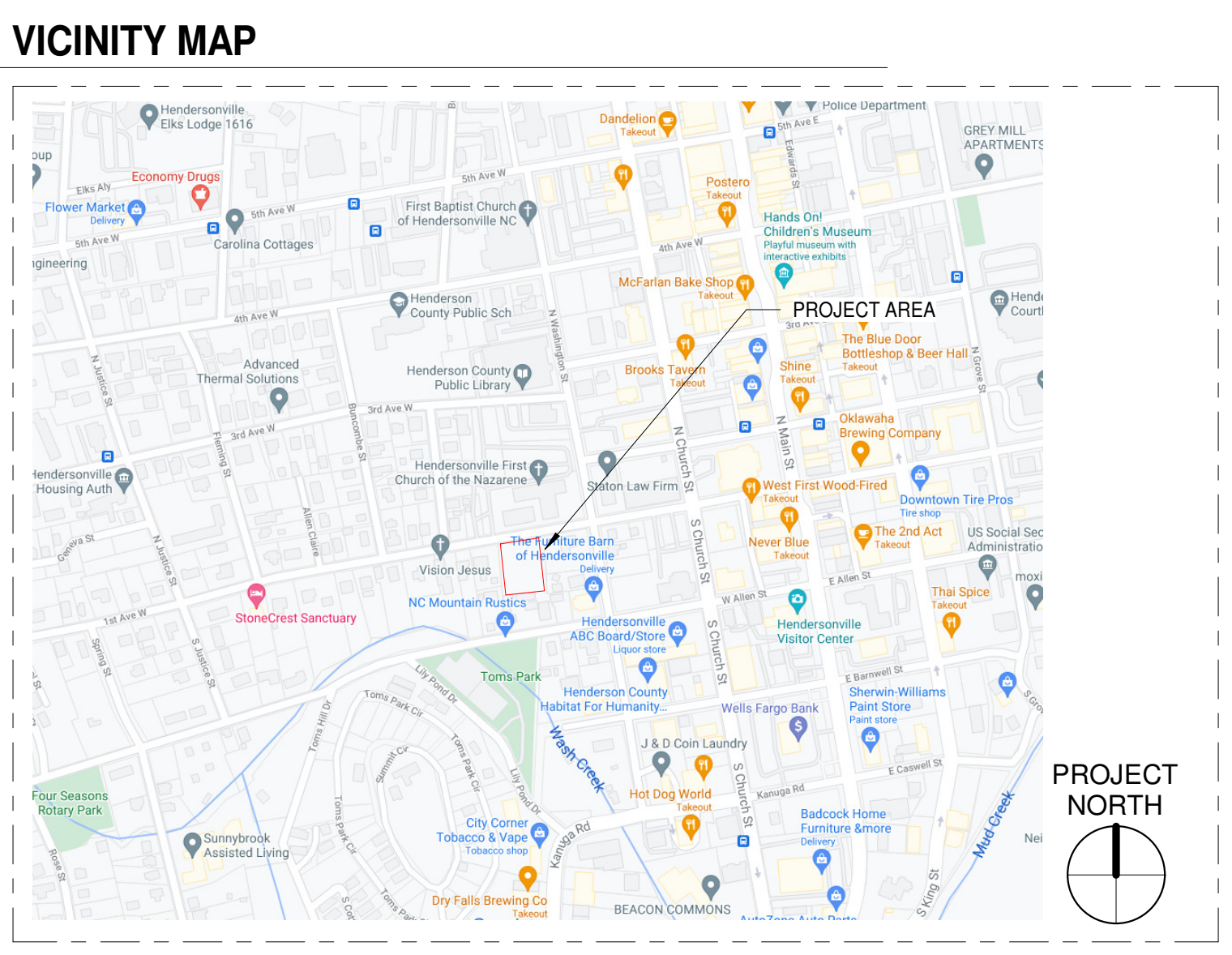
BUILDING STATISTICS

BUILDING TYPE:	IIIB
GROSS SF:	19,240 SF
OCCUPANCY TYPE:	R-2
ALLOWABLE AREA (SM):	48,000 SF
SPRINKLERED:	YES
SEPARATED USE:	N/A
SEPARATION REQUIRED:	1/2 HR
INCIDENTAL USE:	NONE
OCCUPANCY LOAD:	R-2-93
PLUMBING REQUIREMENTS:	1 SINK, 1 TOILET, 1 SHOWER PER UNIT
PLUMBING PROPOSED:	2 SINKS, 2 TOILETS, 2 SHOWERS PER UNIT
LIFE SAFETY REQUIREMENTS:	SEE A005

SITE STATISTICS

	PROVIDED	REQUIRED
PROP LOC:	320 FIRST AVE. W.	
BLOCK:	--	
PIN:	9568771057	
OWNER:	ARY Development LLC	
ZONING:	UR-CZD	
ACREAGE:	0.57 ACRES	
IMPERVIOUS %:	70%	70%
PROPOSED USE:	12 MULTI-FAMILY UNITS	
FLOOD DISTRICT:	N	
DOMESTIC WASTEWATER:	PUBLIC SEWER	
WATER:	PUBLIC	
ADA PARKING:	1 ADA	1 ADA
PARKING:	50 SPACES (TOTAL)	14 SPACES
TREES TO BE REMOVED:	17	
NEW TREES TO BE PLANTED:	25	
TREES IN OPEN SPACE AREA:	32	11
FRONT SETBACK (FIRST AVE)	12' 0" FROM CURB	14' 0" FROM CURB
SIDE SETBACK (CMU)	8' 0"	5' 0"
REAR SETBACK	5' 0"	10' 0"
SIDE SETBACK (R-6)	8' 0"	5' 0"
LANDSCAPE BUFFER	5' 0"	5' 0"
OVERALL HEIGHT	33' 8"	64'
BIKE RACKS	4	0

SCOPE OF WORK:
FIRST AVE UNITS:
1. 2 NEW CONDO BUILDINGS WITH 6 NEW UNITS EACH



Sheet List

Sheet Number	Sheet Name
A001	COVER SHEET
G-17-300	SITE SURVEY
H4D054	TREE SURVEY
SP 101	OVERALL SITE PLAN
SP102	DETAILS
MEP101	WATER AND SEWER PLAN
A104	SECOND LEVEL FLOOR PLAN
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
A601	RENDERINGS
A602	RENDERINGS

DEVELOPER PROPOSED CONDITIONS

- FEE IN LIEU OF SIDEWALKS
- 12' 0" FRONT SETBACK INSTEAD OF 14' 0" FROM BACK OF CURB
- 20' CENTER DRIVE AISLE TO ALLOW FOR ADDITIONAL LANDSCAPING
- WAIVE TRAFFIC IMPACT ANALYSIS UNTIL FINAL SITE PLAN APPROVAL

NORTH CAROLINA
HENDERSON COUNTY

I, Sharon M. McCall, REVIEW OFFICER
OF HENDERSON COUNTY, CERTIFY THAT THE MAP OR
PLAT TO WHICH THIS CERTIFICATION IS AFFIXED
MEETS ALL STATUTORY REQUIREMENTS FOR
RECORDING.

Sharon M. McCall 2/12/19
REVIEW OFFICER DATE

NORTH CAROLINA
HENDERSON COUNTY

THIS INSTRUMENT WAS FILED FOR REGISTRATION THIS
THE 12TH DAY OF FEBRUARY, 2019
AT 2:13 PM O'CLOCK
IN PLAT SLIDE NUMBER 11633

William Lee King
REGISTER OF DEEDS

BY: William Lee King DEPUTY

BOOK 2019 PAGE 11633 (1)

898307



This document presented and filed:
02/12/2019 02:13:50 PM

WLK

WILLIAM LEE KING, Henderson COUNTY, NC

LEGEND

- DB - DEED BOOK
- PG - PAGE
- MNS - MAG NAIL SET
- RBF - REBAR FOUND
- OTF - OPEN TOP PIPE FOUND
- UP - UTILITY POLE
- W - WATER METER
- CO - CLEAN OUT
- S - SEWER MANHOLE
- - IRON FOUND OR SET AS NOTED
- - CALCULATED POINT - NOT SET

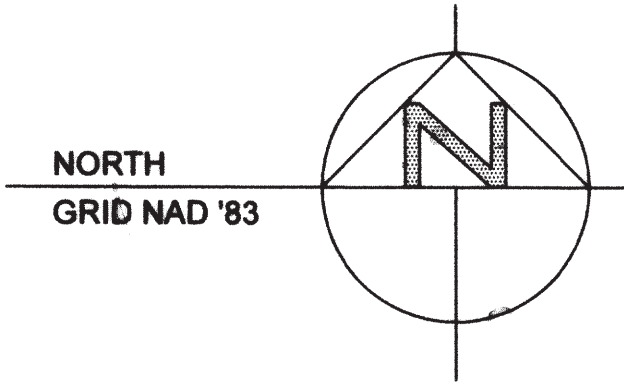
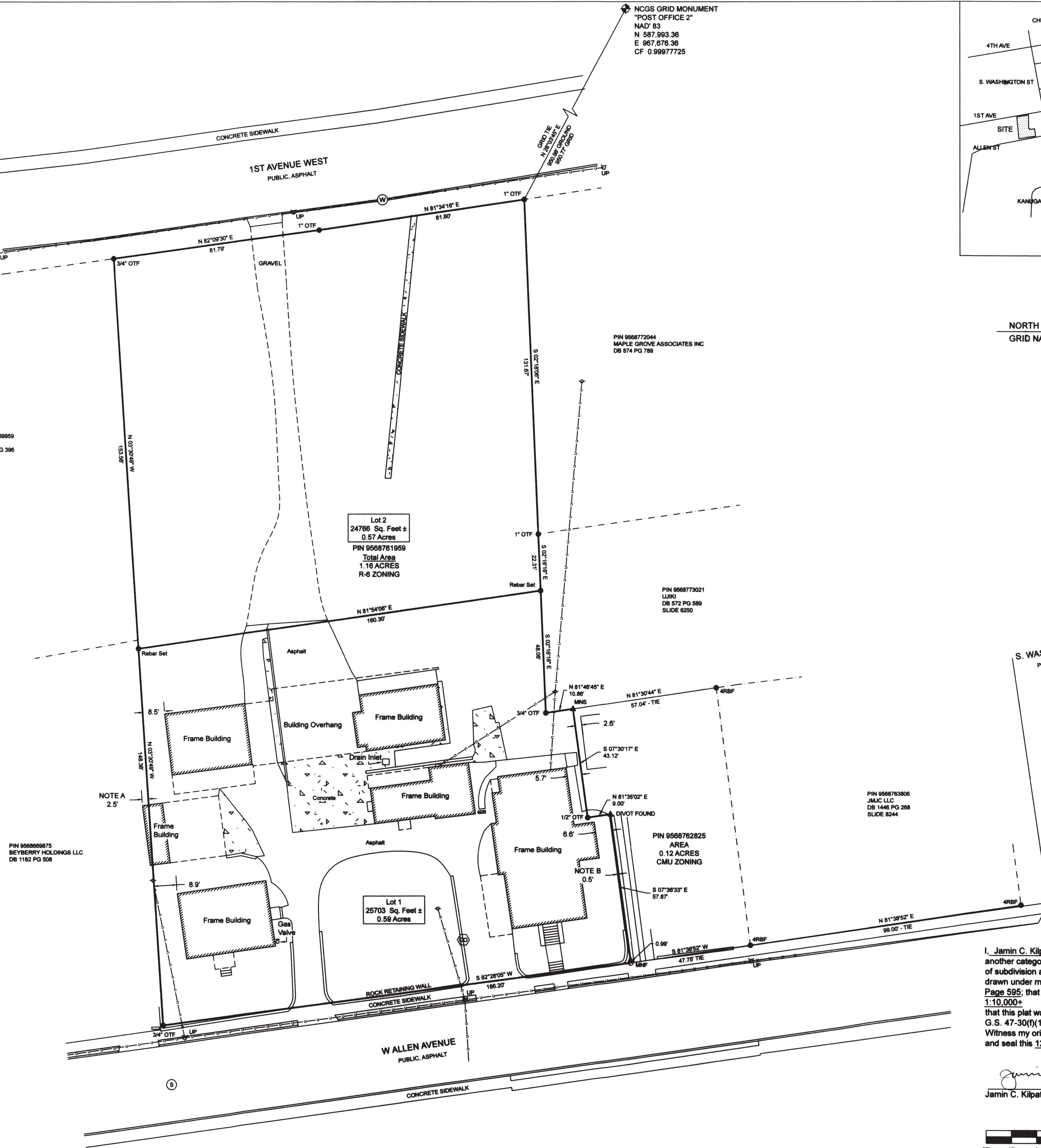
REFERENCES

- DB 3151 PG 595
- DB 1086 PG 482
- DB 1459 PG 198
- SLIDE - 6250
- SLIDE - 6244
- DB 572 PG 589
- DB 1088 PG 386
- DB 1182 PG 508
- DB 874 PG 788

NOTES

- SUBJECT PROPERTY TIED TO NC GRID NAD '83 (2011) BY GPS OBSERVATION.
- ORIGINAL BOUNDARY SURVEY COMPLETED ON MARCH 6, 2017. THIS SURVEY IS TO SUBDIVIDE PARENT TRACT.
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- SURVEYOR WAS NOT PROVIDED WITH A LEGAL TITLE SEARCH. THERE MAY EXIST EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS PERTINENT TO THIS PROPERTY THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE THAT ARE NOT SHOWN ON THIS SURVEY.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF OTHER UNDERGROUND UTILITIES/STRUCTURES MAY BE PRESENT AND NOT SHOWN. PROPERTY SUBJECT TO ALL RIGHTS-OF-WAY AND EASEMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO, THOSE SHOWN HEREON.
- NO UNDERGROUND UTILITIES WERE LOCATED. CALL 1-800-632-4949 BEFORE DIGGING.
- ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT SURVEYED OR CONSIDERED AS PART OF THIS SURVEY.
- NO EVIDENCE OR STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONDITIONS, CONTAINERS, OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
- AREA BY COORDINATE COMPUTATION.
- PROPERTY LINES SHOWN AS DASHED WERE NOT FIELD SURVEYED. THEY WERE PLOTTED FROM RECORD DOCUMENTS.
- THERE IS A POSSIBLE 2.5' BUILDING ENCROACHMENT, SHOWN HEREIN AS "NOTE A."
- THERE IS A POSSIBLE 0.5' DRIVEWAY ENCROACHMENT, SHOWN HEREIN AS "NOTE B."
- PIN 9568761959 CURRENTLY ZONED R-8 BY THE CITY OF HENDERSONVILLE.
- SETBACKS: FRONT - 20' REAR - 10' SIDE - 5'
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.

PIN 9568669959
FOX
DB 1068 PG 396



I, Jamin C. Kilpatrick, certify that this survey is of another category or other exception to the definition of subdivision and I further certify that this plat was drawn under my supervision from Deed Book 3131, Page 595; that the ratio of precision as calculated is 1:10,000+ that this plat was prepared in accordance with G.S. 47-30(f)(1)(d).
Witness my original signature, registration number and seal this 12th day of February, A.D., 2019.

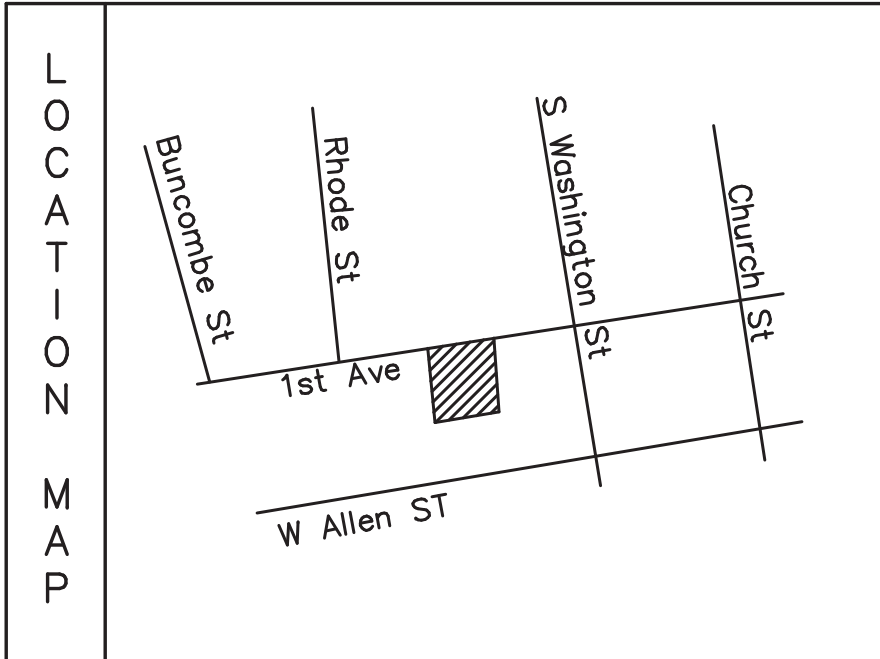
Jamin C. Kilpatrick
Jamin C. Kilpatrick, PLS L-4602

KILPATRICK LAND SURVEYING PLLC
PO BOX 2705, HENDERSONVILLE, NC 28793
828-606-4787 www.kilpic.com P-0508

SUBDIVISION OF PROPERTY FOR:
RIDDLE DEVELOPMENT, LLC
CURRENT OWNER: RIDDLE DEVELOPMENT LLC
City of Hendersonville, Hendersonville Township
Henderson County, North Carolina
PIN 9568761959

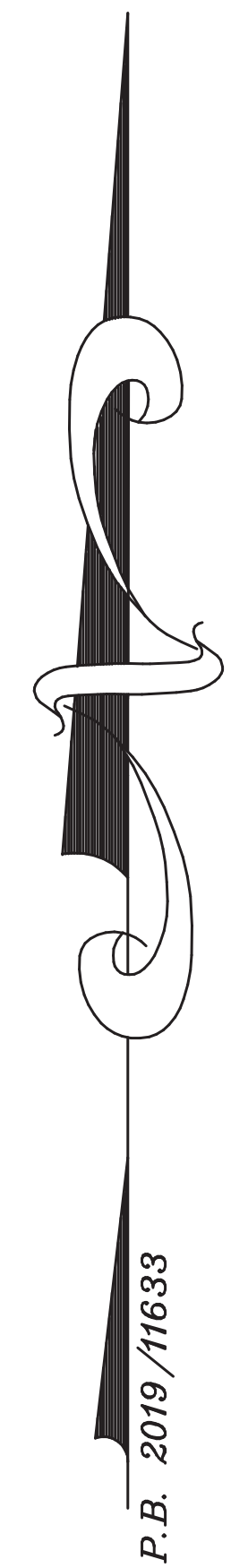
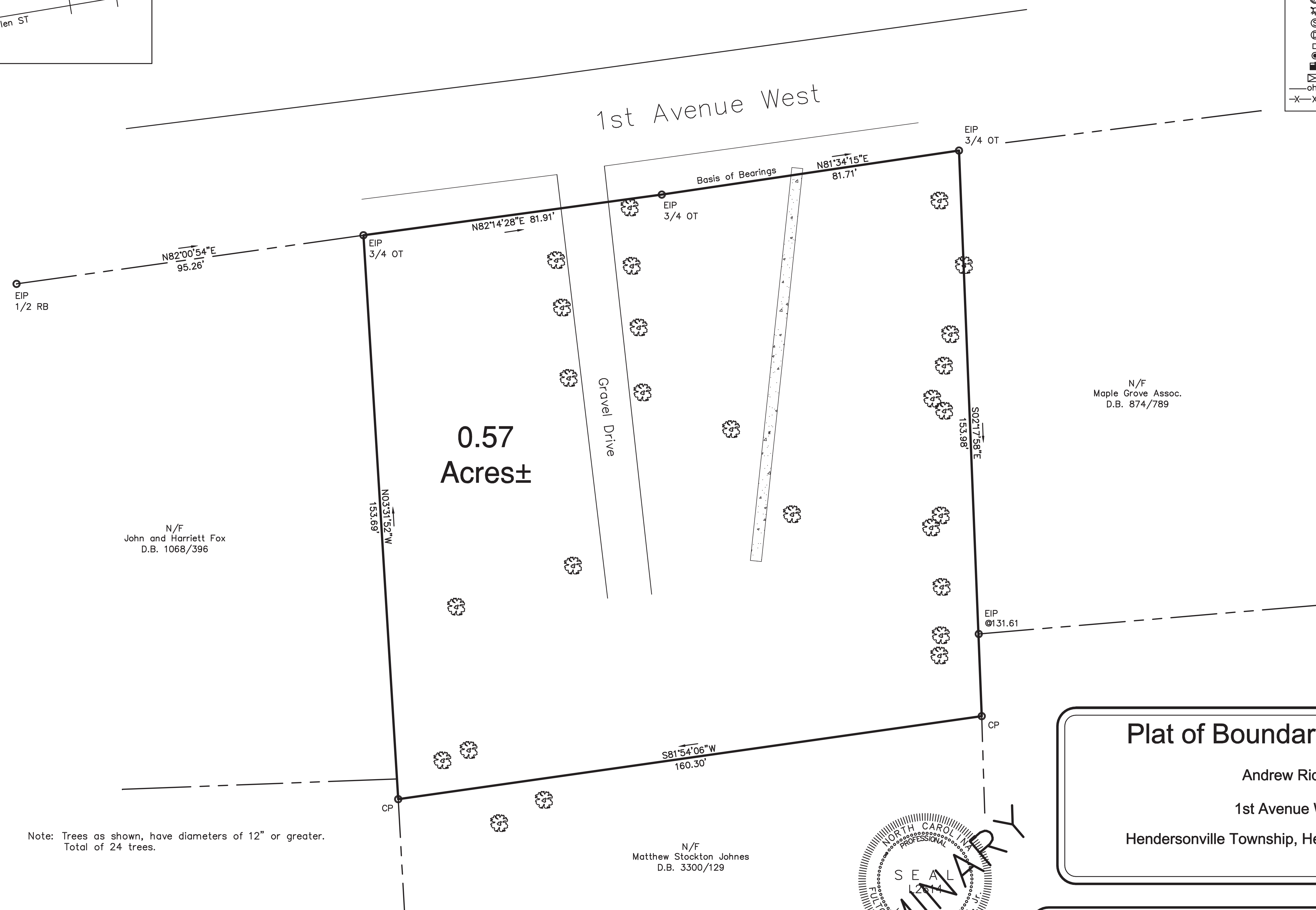
Date 6 MARCH 2017
Drawn By JCK
Scale 1" = 20'
Revision 02-12-19
Dwg No. G-17-300

SLIDE 11633



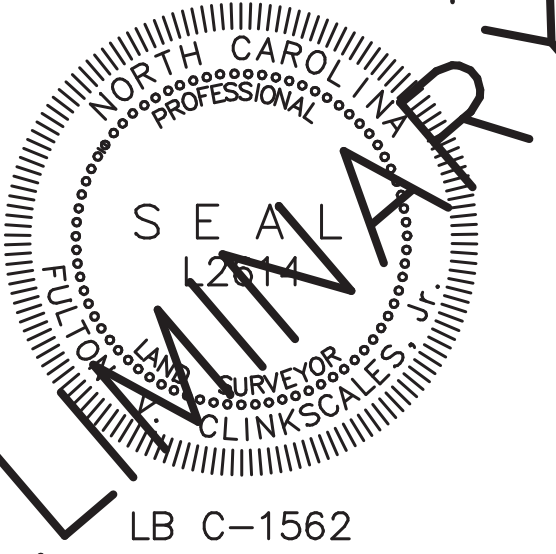
LEGEND:

○	NIP	NEW IRON PIN
○	EIP	EXISTING IRON PIN
○	CP	CALCULATED POINT ONLY
⊙		POWER POLE
⊙		LIGHT POLE
⊙		WATER VALVE
⊙		GAS VALVE
⊙		WATER METER
⊙		FIRE HYDRANT
⊙		SANITARY SEWER MANHOLE
⊙		STORM DRAIN MANHOLE
⊙		CATCH BASIN
⊙		CLEANOUT
⊙		CURB INLET
⊙		TRANSFORMER
ohp		OVERHEAD POWER
-x-x-x-		FENCE LINE



Note: Trees as shown, have diameters of 12" or greater. Total of 24 trees.

Plat of Boundary Survey for
Andrew Riddle
1st Avenue West
Hendersonville Township, Henderson County, N.C.

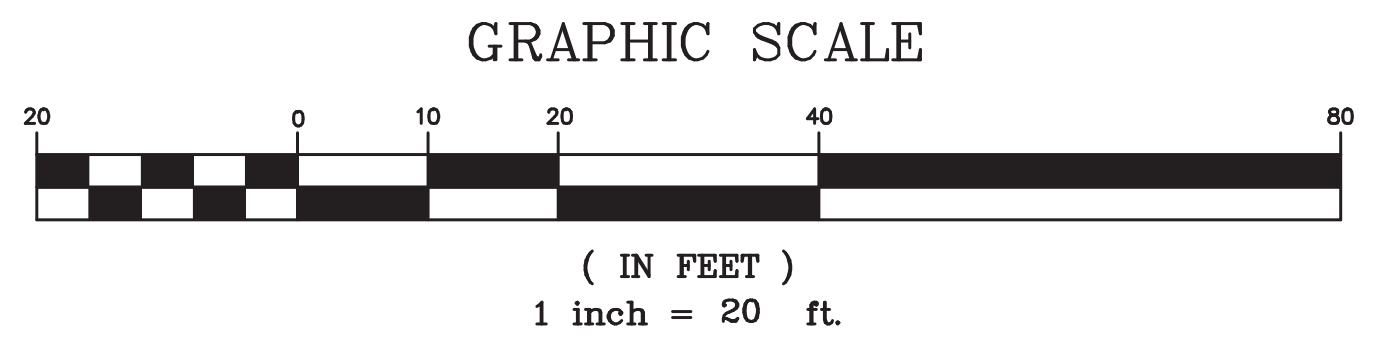


Not valid without the signature and the original seal of a North Carolina licensed land surveyor.

Not For Recordation

The original drawing and/or all copies of it are not transferable to any future owner(s) of the platted property and shall not be used or relied upon by future owner(s) and/or their representatives for any reason without written release by the professional surveyor.

This is to certify that the property shown on this plat was surveyed under my direct supervision. Property lines and improvements are located correctly and that no visible encroachments exist unless otherwise shown.



FREELAND - CLINKSCALES & ASSOCIATES, INC. OF N.C. ENGINEERS * LAND SURVEYORS 201 2nd AVE. EAST HENDERSONVILLE, N.C. 28792 fcaofnc@outlook.com (828) 697-6539 Fax (828)-697-4195 Firm No. C-1562	REF. PLAT BOOK 2019/11633
	REF. DEED. BOOK 3131/595
	TAX MAP 9568-77-1057
	PARTY CHIEF FVC
	DRAWN BLB
	DATE January 27, 2020
	DWG.NO. H40054

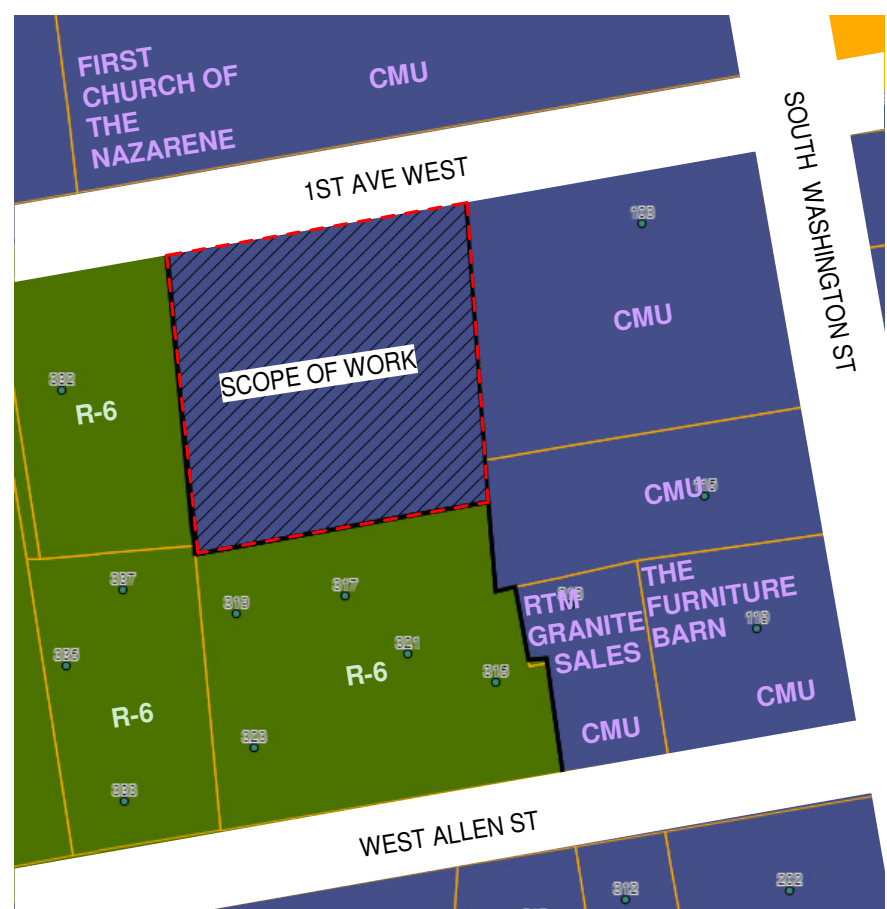
SITE STATISTICS CONT.

SITE COVERAGE :	EACH BUILDING: 4,810 SF
BUILDING FOOTPRINT	TOTAL FIRST FLOOR FOOTPRINT:
	9,620 SF
TOTAL SQUARE FOOTAGE:	19,240 SF
STREETS AND PARKING	7,713 SF
TOTAL PERVIOUS AREA	7,532 SF
COMMON OPEN SPACE	2,520 SF (2,483 SF REQ'D - 10%)
PHASING	TO BE COMPLETED IN ONE PHASE

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PIN:	9568771057	
OWNER:	ARY Development LLC	
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ACREAGE:	0.57 ACRES	
IMPERVIOUS %:	70%	70%
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FLOOD DISTRICT:	N	
DOMESTIC WASTEWATER:	PUBLIC SEWER	
WATER:	PUBLIC	
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SIDE SETBACK (R-6)	8' 0"	5' 0"
LANDSCAPE BUFFER	5' 0"	5' 0"
OVERALL HEIGHT	33' 8"	64'
BIKE RACKS	4	0

- NOTES:**
- SITE LIGHTING WILL BE ADDRESSED AT FINAL SITE PLAN AND WILL BE COMPLIANT WITH SECTION 6-19 OF THE ZONING CODE
 - HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF URBAN OPEN SPACE AND COMMON AREAS
 - DETAILED LANDSCAPING PLAN WILL BE PROVIDED WITH THE FINAL SITE PLAN
 - DUMPSTER AND RECYCLING AREA TO MEET THE SCREENING REQUIREMENTS OF 15-19-3.3c



ZONING MAP
1" = 100'-0"

ADJACENT PROPERTIES:

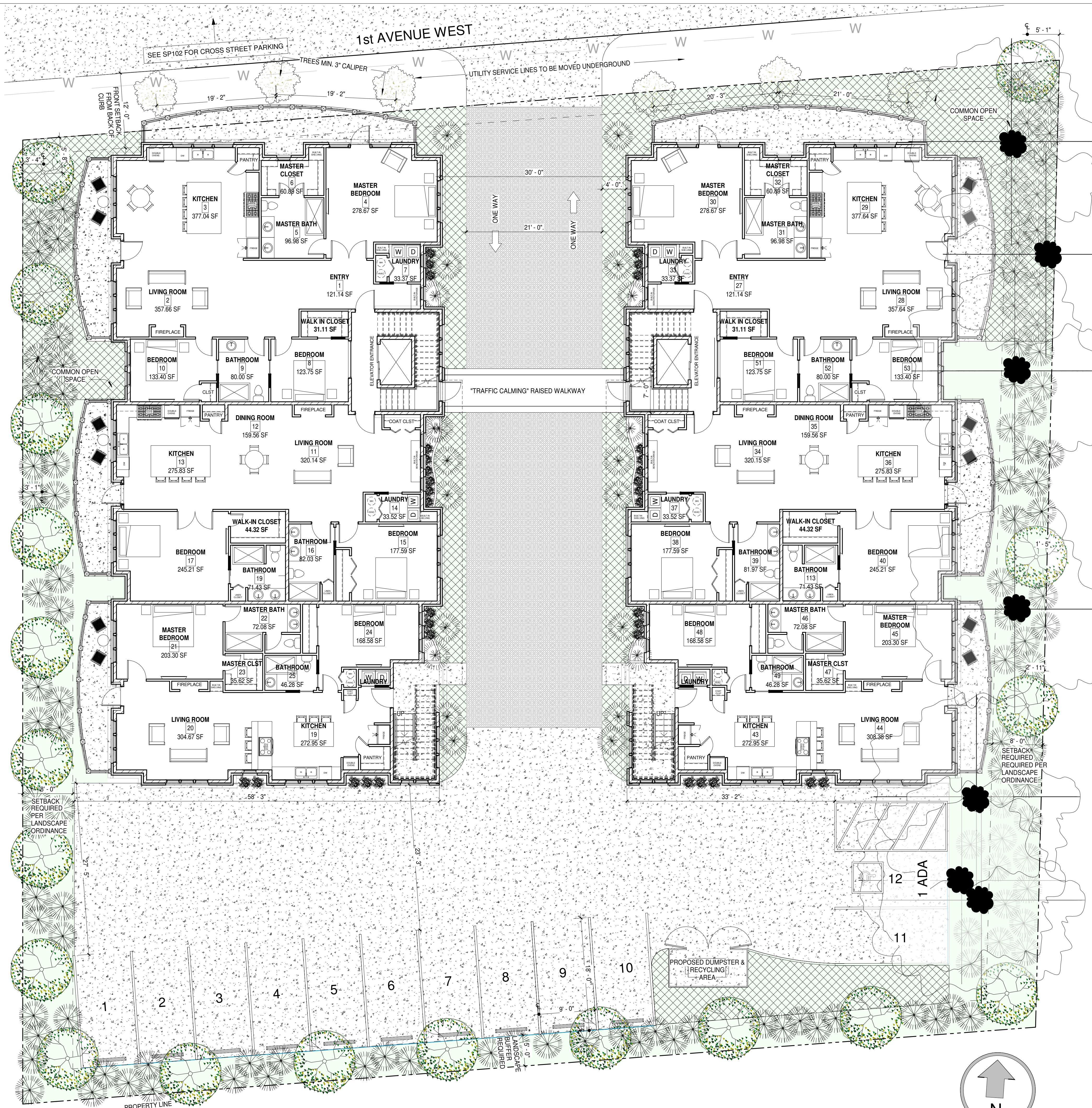
ADJACENCY	ADDRESS	ZONING	PROPERTY OWNER
NORTH	111 N WASHINGTON ST	CMU	FIRST CHURCH OF THE NAZARENE
EAST	103 S WASHINGTON ST	CMU	MAPLE GROVE ASSOC INC
EAST	115 S WASHINGTON ST	CMU	NENON L. UJIKI
SOUTHEAST	119 S WASHINGTON ST	CMU	JMJC, LLC
SOUTHEAST	313 W ALLEN ST	CMU	MATT JOHNES, LLC
SOUTH	315 W ALLEN ST	R-6	MATT JOHNES, LLC
SOUTHWEST	337 W ALLEN ST	R-6	BEYBERRY HOLDINGS, LLC
WEST	332 1ST AVE W	R-6	JOHN E. FOX, HARRIETT W. FOX

EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE DEMOLISHED
- EXISTING TREE CANOPY

MATERIAL LEGEND

- TURFSTONE PERMEABLE PAVERS WITH ARTIFICIAL TURF



SITE PLAN
1/8" = 1'-0"



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THE TAMARA PEACOCK CO. ARCHITECTS
129 3RD AVE W
HENDERSONVILLE, NC 28792
PHONE: 828.696.4000
LICENSE #12289



OWNER:

PROJECT NAME:
FIRST AVE VILLAS
**320 1ST AVE W
HENDERSONVILLE,
NC 28792**

TAMARA PEACOCK, R.A.
REGISTRATION NO. 12289

ISSUED FOR:

DATE:

SHEET NAME:
**OVERALL
SITE PLAN**

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DATE: 11/19/2024 4:02:12 PM

PROJ. NO.: _____

CHECKER: _____

AUTHOR: _____

DESIGNER: _____

REVISOR: _____

CAPT.: _____

CHECKER: _____

APPROVER: _____

SHEET NO.:
SP 101



PROJECT DESIGN TEAM:
 THE TAMARA PEACOCK CO. ARCHITECTS
 129 3RD AVE W
 HENDERSONVILLE, NC 28792
 PHONE: 828.696.4000
 LICENSE #12289



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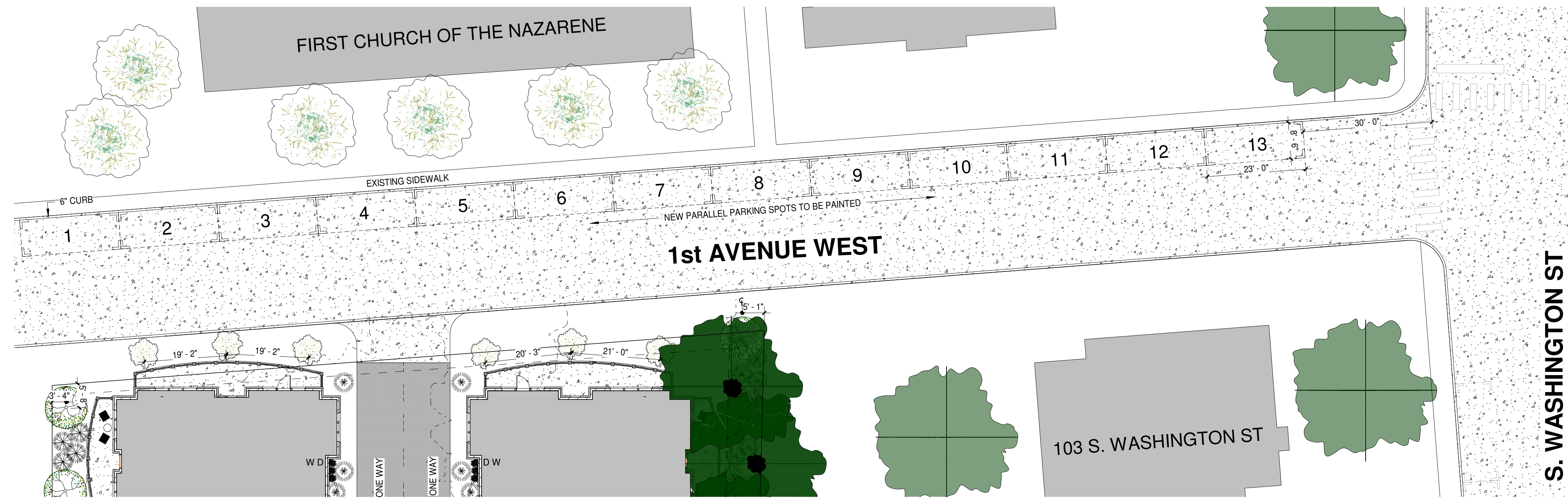
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DETAILS

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DATE: 11/19/2024 6:08:36 PM
 PROJ. NO.:
 CHECKER:
 DRAWN BY: AUTHOR PROJ. MGR.: DESIGNER
 REVISED BY: CHECKER CAPT.: APPROVER

SHEET NO.:
SP102



1 STREET PARKING
 SP102 1/16" = 1'-0"



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ISSUED FOR:

DATE:

SHEET NAME:
**SECOND
 LEVEL
 FLOOR
 PLAN**

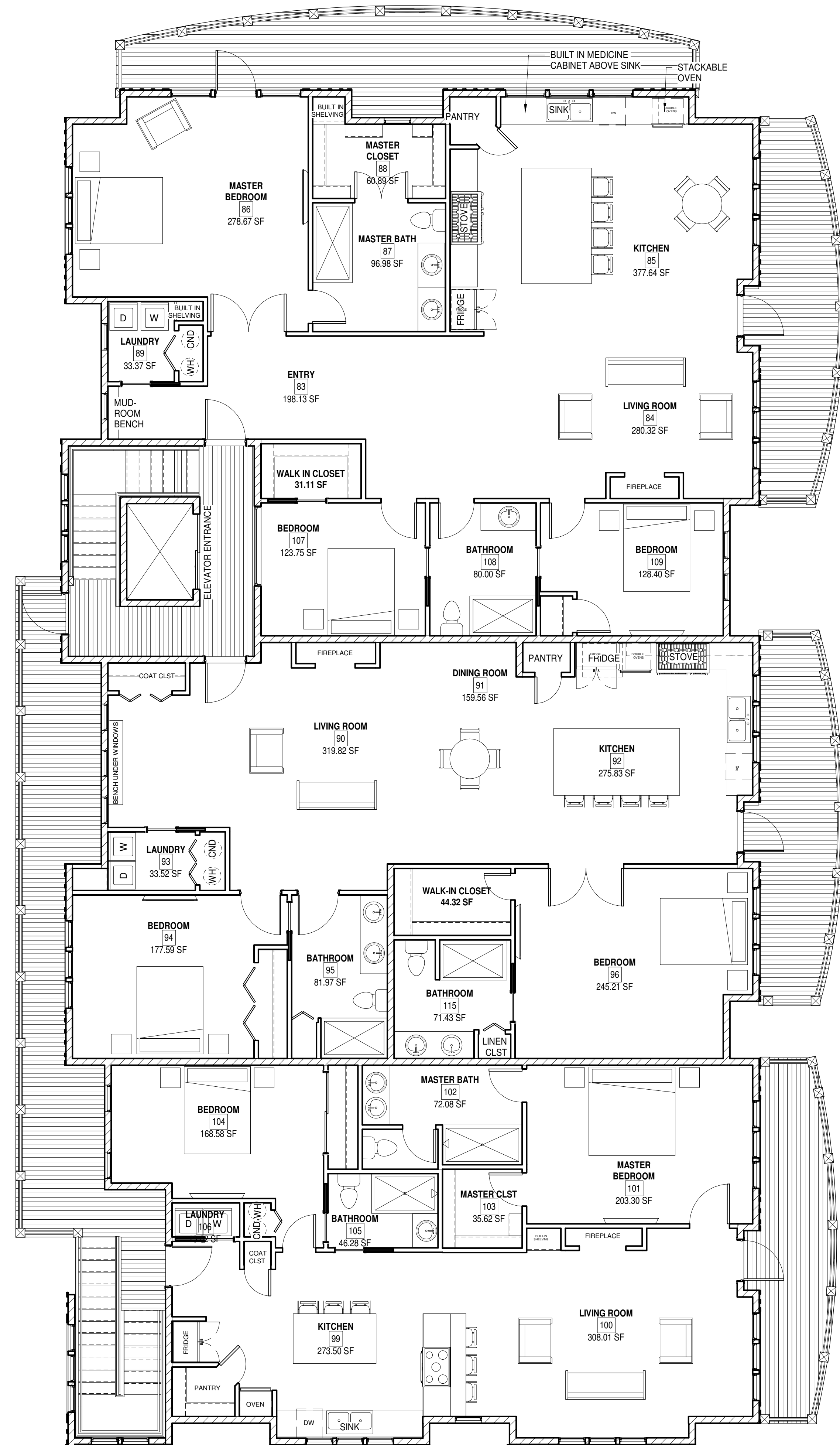
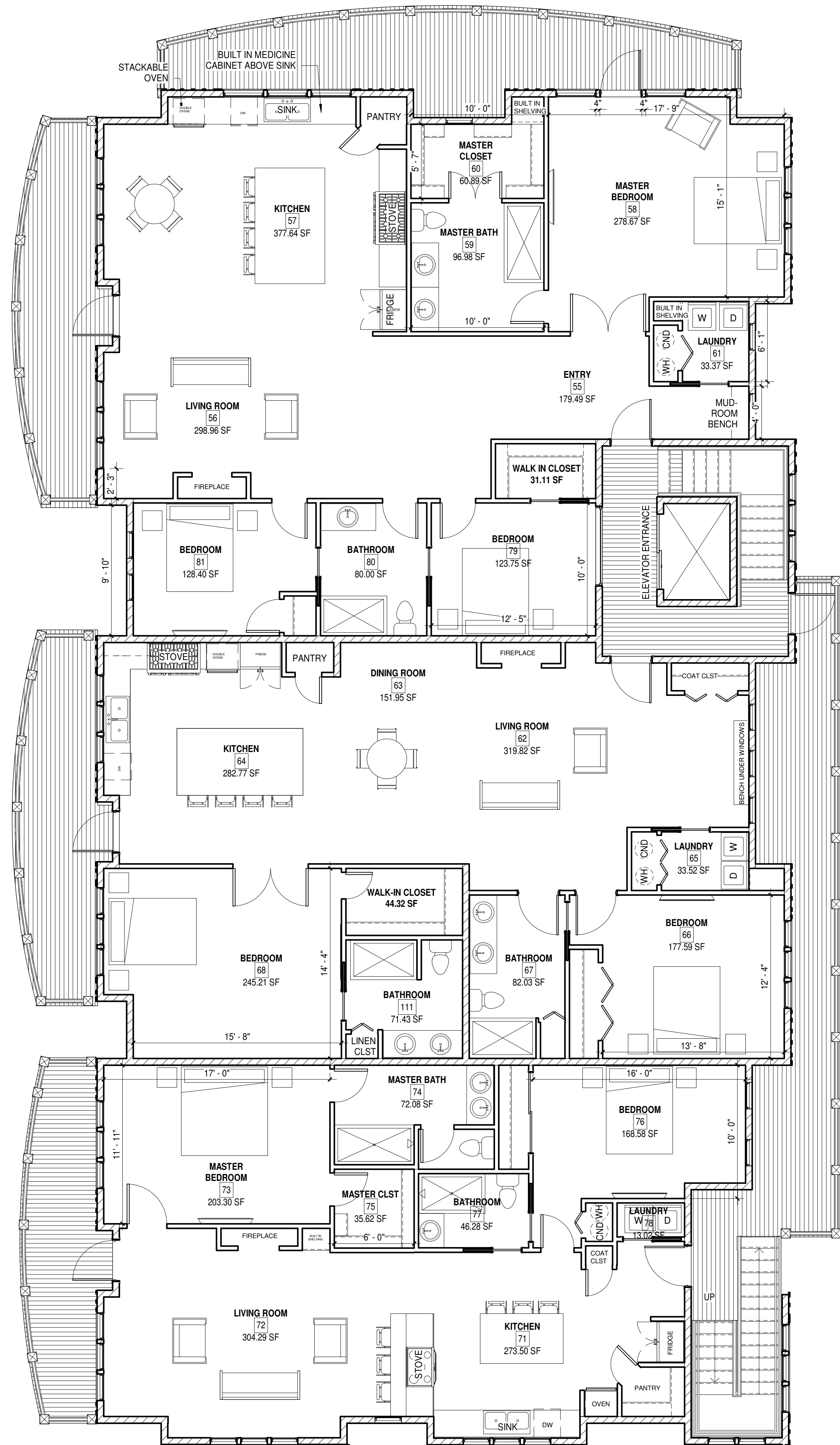
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 PROJ. NO.:
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 DRAWN BY: AUTHOR
 PROJ. MGR.: DESIGNER
 REVISOR: CAPT.
 CHECKER: APPROVER

SHEET NO.:

A104





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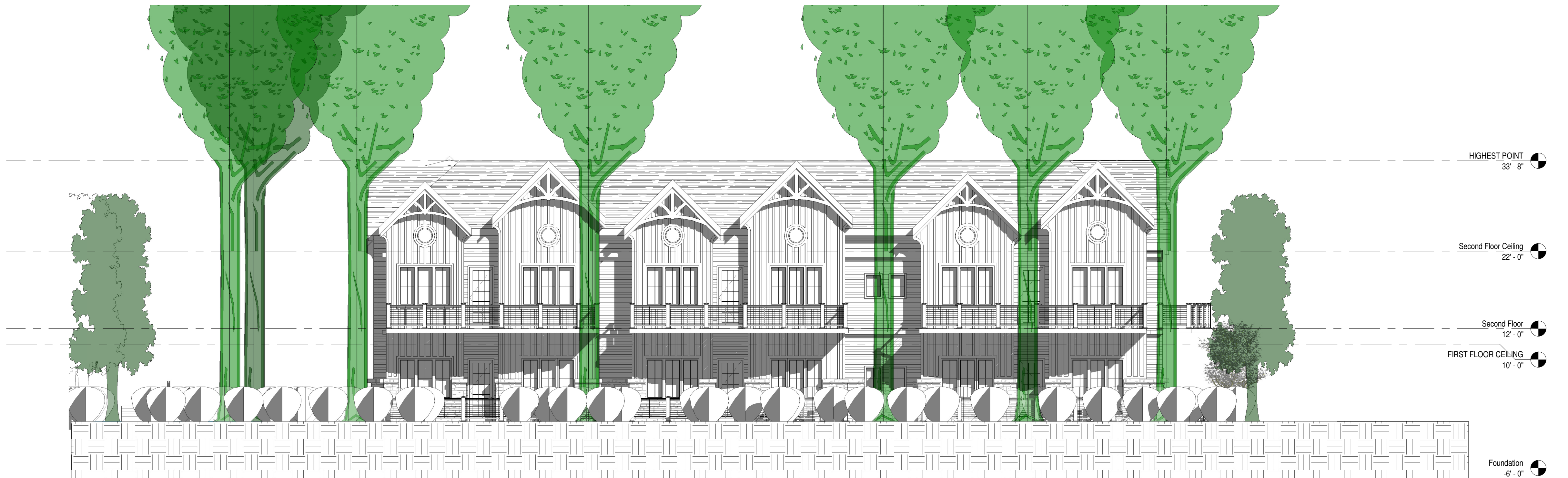
DATE: 11/19/2024 3:59:10 PM
 PROJ. NO.:
 CHECKER:
 DRAWN BY: AUTHOR DESIGNER
 REVISED BY: CHECKER CAPT. APPROVER

SHEET NO.:

A401



1 NORTH ELEVATION
 A401 1/8" = 1'-0"



2 EAST ELEVATION
 A401 1/8" = 1'-0"



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DATE: 11/19/2024 3:59:29 PM

PROJ. NO.:

CHECKER

AUTHOR

CHECKER

PROJ. PHASE:

DESIGNER

CAPT.

APPROVER

SHEET NO.:

A402



1 SOUTH ELEVATION
 A402 1/8" = 1'-0"



2 COURTYARD ELEVATION
 A402 1/8" = 1'-0"



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RENDERINGS

REVISIONS:

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